

All work to be done in conjunction with the working drawings, this specification and engineer's details if required.  
Items not shown on drawings or in the specification but required to obtain a workman like finish are to be allowed for as part of the contract.  
All work is to be in accordance with the Building Code of Australia, Local government requirements and all other relevant authorities.  
The builder is to arrange and pay for all inspections, approvals etc. as may be required by the authorities concerned. Excepting amplification of electrical power major sewer extensions and water amplification.  
Builder is to ensure employees are covered as required by the Workers Compensation Act of NSW.  
Builder is to insure against public risk, with relevant public liability insurance.  
Builder is to check all dimensions, levels etc. prior to any works proceeding.  
Figured dimensions take preference to scale.  
All dimensions and levels are subject to requirements of the project PCA. To be checked and verified as required before works commencement.  
Unless otherwise noted the builder shall provide a defects liability period of three months.  
Builder is to provide for himself and his workers on site amenities as may be required unless other arrangements have been made with the owners or the local authorities.

**WORKMANSHIP**  
ALL WORKMANSHIP TO COMPLY WITH THE APPLICABLE PERFORMANCE REQUIREMENTS OF THE BCA AND RELEVANT AUSTRALIAN STANDARDS.  
Execute all work in the best and most tradesman like manner to the satisfaction of the superintendent or building inspector.  
Remove all waste items after completion of works.

**EXCAVATION**  
Excavate the site as required for dwelling / addition.  
Additional surplus soil to be stored on site for future use.  
**PEST CONTROL** as per AS3660.1  
1. Monolithic Slab.  
- Min 75mm of Slab edge exposed below 1st course of brickwork.  
- Crushed granite "Granitgard" on all penetrations.  
2. Suspended Floor.  
- Install a barrier system in accordance with BCA Part 3.1.3 Table 3.1.3.  
- Provide sub-floor ventilation in accordance with BCA Part 3.4.1.  
- Where a barrier that needs to be inspected is installed,provide access to the area of the barrier that needs inspection in accordancewith AS3660.1

**CARPENTER**  
Erect both wall and floor frames as shown on plans.  
If roof trusses are supplied install to manufactures written instructions. In accordance with clause 3.4.3.6.BCA96 or AS1684  
**WINDOWS** - as per AS2147 / AS2048 / AS1288  
Refer plans for all window sizes, locations and material type. Flash heads and sills as required.  
Provide all storm moulds, architrave's and trims as required.  
Windows to depth of 1,500mm to be 6mm toughened glass.  
Window colour and glass type to be determined by owner.  
Allow min of 15mm clearance between architrave and bottom of head for deflection.

**ROOFER**  
**METAL ROOF**  
Provide corrugated steel roof to entire roof area as required. All necessary accessories to be provided and the roof is to be adequately birdproofed. Sheets to be fixed with 45mm non corrosive hex head self drilling screws fitted with neoprene ceiling washers to every alternate corrugation at ends and every fourth corrugation immediately. All hips and ridges to be covered with screws and washers and cappings as required by product and manufacturer  
Where pitch of roof is less than 1:4.5 minimum a material having effective vapour barrier and thermal insulation qualities is to be fixed to the underside of ceiling joists where a level surface is to be provided. Where the ceiling is to follow the pitch of the rafters, irrespective of the pitch of the roof, the vapour/thermal barrier is to be fixed to the underside of the rafters.  
**LEAD FLASHING NOT TO BE USED WITH ZINCALUME STEEL.**

**PLUMBER, DRAINER**  
Provide Steel Fascia and Gutter to all eaves as shown. Fix as per manufacturer's details.  
Provide Steel barge and barge capping to all gables fix as per manufacturer's details.  
Provide 100 x 50 Steel down pipes or as shown on plans and connect to storm water system.  
All pipe work internal and external to be copper.  
Supply and install all required taps and fixtures to complete the job. Works to comply with AS/NZS-3500 plumbing/drainage  
Sewer lines to be 100mm PVC all jointed using approved adhesive min 300mm below ground level with a min 1:75 fall. Storm water lines to be min 90mm PVC with 1:100 fall.  
Keep all lines a min of 600mm away from foundations. Provide all required cleaning eyes and inspection openings. All work to be inspected and approved by both council as well as water board and certificates of compliance given to builder/owner.  
AGG lines to be generally 100mm dia laid in 10mm blue metal.

**ELECTRICIAN** - in accordance with AS3000 / AS3006  
Supply and install all power points and light points as per plans are as directed by owner/builder.  
All work is to be carried out in accordance to the SAA wiring rules.  
All materials shall be first quality and installed in a workmanlike manner. All fees and connection charges shall be applied for and paid. Certificate of compliance shall be provided to owner/builder.  
The switch board shall be applied for shall be of circuit breaker type conforming to current standards.  
Power circuits 15 amp  
Light circuits 10 amp  
Main switch 100 amp  
Install smoke detectors as per AS3786 and in accordance to E 1.7 of the building code.  
**EXTERNAL LININGS**  
Clad dwelling exterior or areas nominated as such using BCA required materials and processes to AS 1562 or as required.  
Fix directly to studs using galv clouts or approved fixings as recommended by manufacturer.  
Sheets to be lapped a min of 25mm  
**INTERNAL LININGS** - as per AS3740  
All internal surfaces unless nominated on plans to be gyprock lined.  
Board thickness as follows ....walls 10mm  
....ceilings 13mm or 10mm superceil  
Allow a period of 9 days after frame erection prior to gyprock installation for frame stabilisation.  
Prior to laying of sheeting inspect wall studs and ceiling joists for any defective work, warping or twisting of timbers.  
Boards are to be both clout and glue fixed to timbers. Clouts are to be galv 30mm long driven just below paper skin.  
Provide paper tape to all joints and plaster set.  
Sand between plaster coats and allow a min of 2 coats plaster and 1 coat final skim coat.  
Sand and leave ready for painting.  
All arches and exterior edges to be steel trim fixed and finished as above.

**JOINER**  
All timbers shall comply with the appropriate standards.  
All frames to be mitred and scribed, fitted and joined together with linings, mouldings and trims.  
All surfaces to be left ready for painting.  
External doors 2040 x 820 x 40 as selected - as per AS109 / AS2588 / AS2689  
Laundry doors 2040 x 820 x 40 flush panel - as per AS109 / AS2588 / AS2689  
Internal doors 2040 high Refer plans for width  
Skirting 50 x 19 custom wood or as selected by builder  
Man Hole Fit 600 x 600mm access hole in roof

**PAINTER**  
Prior to any work check and fill all voids.  
Check and sand all plaster and wood work if not yet so.  
Apply all primers to both internal and external surfaces as appropriate for material.  
Internal surfaces to receive min two coats of selected acrylic paint.  
External paints to be acrylic with 2 finish coats.

**COMPLETION**  
At completion of all works builder to clean site and dwelling of all rubble.  
Test and check all doors, windows etc. for proper operation.  
Plane and allow for all door clearances as may be required.  
Council final inspection to take place and all defects rectified and all conditions complied with.  
Hand over all certificates and warranties as held to owner.

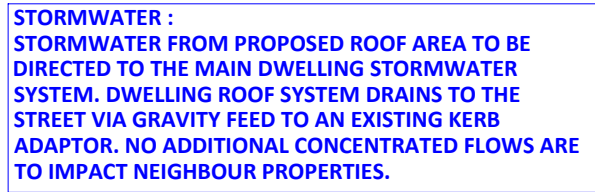
Sheet List	
Sheet Number	Sheet Name
1	COVER SHEET
2	PROPOSED SITE PLAN
02A	PROPOSED STORMWATER MANAGEMENT PLAN
02B	ORIGINAL / DEMOLITION SITE PLAN
3	ORIGINAL/ DEMOLITION FLOOR PLAN
4	PROPOSED FLOOR PLAN
5	ELEVATIONS
6	ELEVATIONS
7	SECTION
8	ROOF PLAN
9	DOOR & WINDOW SCHEDULE





LOCATION PLAN

<div>LEGEND:</div> <div>TW - TOP OF WALL LEVEL BW - BOTTOM OF WALL LEVEL ZOI - ZONE OF INFLUENCE BLD - EXTERNAL BUILDING LEVEL DK - FINISHED DECK LEVEL PAV - FINISHED PAVING LEVEL TIL - FINISHED TILE LEVEL</div>	<div>FFL - FINISHED FLOOR LEVEL FCL - FINISHED CEILING LEVEL BCL - BOTTOM CEILING LEVEL FRL - FINISHED RIDGE LEVEL GL - FINISHED GUTTER LEVEL FBL - FLOOR BOTTOM LEVEL TCL - TOP CEILING LEVEL FGL - FINISHED GROUND LEVEL EGL - EXISTING GROUND LEVEL F - FILTER FPL - FINISHED POOL COPING LEVEL NCC - NATIONAL CONSTRUCTION CODE</div>	<div>DISCLAIMER</div> <div><ul style="list-style-type: none"><li>• All work to be carried out with the Building Code of Australia. All Local and State Ordinances relevant to Australian Standards, local eletricity, Water Regulations and all other relevant Authorities concerned.</li><li>• All structural and drainage to be subject to Engineer's details or certification where required by the PCA. This shall include R.C. Slabs &amp; footings &amp; steel beams and columns, wind bracing to AS 1170 &amp; AS 4055 anchor rods or bolts, tie downs, fixings, etc. driveway slabs &amp; drainage to the PCA's satisfaction.</li><li>• All work to be carried out in a professional &amp; workmanship manner according to the plans &amp; specification.</li><li>• Do not scale off the drawings unless otherwise stated and use figured dimensions in preference.</li><li>• All dimensions &amp; levels are subject to final survey and set out, all dimensions are to be checked &amp; verified on site before the commencement of work.</li><li>• The Design Scheme (drawings documents information) contained within this set have been prepared by Drafting Solutions purely for the purpose of providing information about potential design schemes. The information should not be considered to be error free or to include all relevant data.</li><li>• Nothing in this report in any way comprises advice or a representation by Drafting Solutions nor does the transmissions or sending of these materials create any contractual obligations. Draftings Solutions, its employees, agents or contractors, will not be liable for any direct or indirect loss/damage you may suffer or incur arising directly or indirectly from the use of any materials or information from the report. Drafting Solutions retains copyright and all present and future moral rights in all intellectual property in all the materials authored by it and in any works executed from these drawings and documents.</li></ul></div>				Project: PROPOSED STORAGE SHED & BATHROOM		<div>Designers/Architect/Drafters:</div> <div><div><div><div>✓</div><div>Building Drafting Solutions</div></div></div><div><div>Building Drafting Solutions</div><div>P.O. Box 667, Round Corner, Nsw 2158</div><div>info@buildingdraftingsolutions.com.au</div></div></div>	
		Client: WALTERS							
		Site: LOT 2 DP 805532 8 Chauvel Avenue, Milperra, NSW- 2214						North Point:	
		Drawing Title:COVER SHEET						<div><div>↑</div></div>	
		Scale	Date: 07-05-2024	Checked by AJ	Authorised	Job Reference: WALTERS		Sheet No: 1	



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FFL - FINISHED FLOOR LEVEL FCL - FINISHED CEILING LEVEL BCL - BOTTOM CEILING LEVEL FRL - FINISHED RIDGE LEVEL GL - FINISHED GUTTER LEVEL FBL - FLOOR BOTTOM LEVEL TCL - TOP CEILING LEVEL FGL - FINISHED GROUND LEVEL EGL - EXISTING GROUND LEVEL F - FILTER FPL - FINISHED POOL COPING LEVEL NCC - NATIONAL CONSTRUCTION CODE		TW - TOP OF WALL LEVEL BW - BOTTOM OF WALL LEVEL ZOI - ZONE OF INFLUENCE BLD - EXTERNAL BUILDING LEVEL DK - FINISHED DECK LEVEL PAV - FINISHED PAVING LEVEL TIL - FINISHED TILE LEVEL TW - TOP OF WALL LEVEL		<b>Client:</b> <b>WALTERS</b>							
				<b>Site:</b> <b>LOT 2 DP 805532 8 Chauvel Avenue, Milperra, NSW- 2214</b>							
				<b>Drawing Title:</b> <b>PROPOSED SITE PLAN &amp; STORMWATER DETAILS</b>				<b>North Point:</b>			
				<b>Scale:</b> <b>AS NOTED</b>							
				<b>Date:</b> <b>07.05.2024</b>							
				<b>Checked:</b> <b>A.J.</b>							
				<b>Authorised:</b>							
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DRAWING ORIGINAL SIZE A3								<b>Sheet No:</b>			
								<b>WALTERS</b>			
								<b>02 / 06</b>			

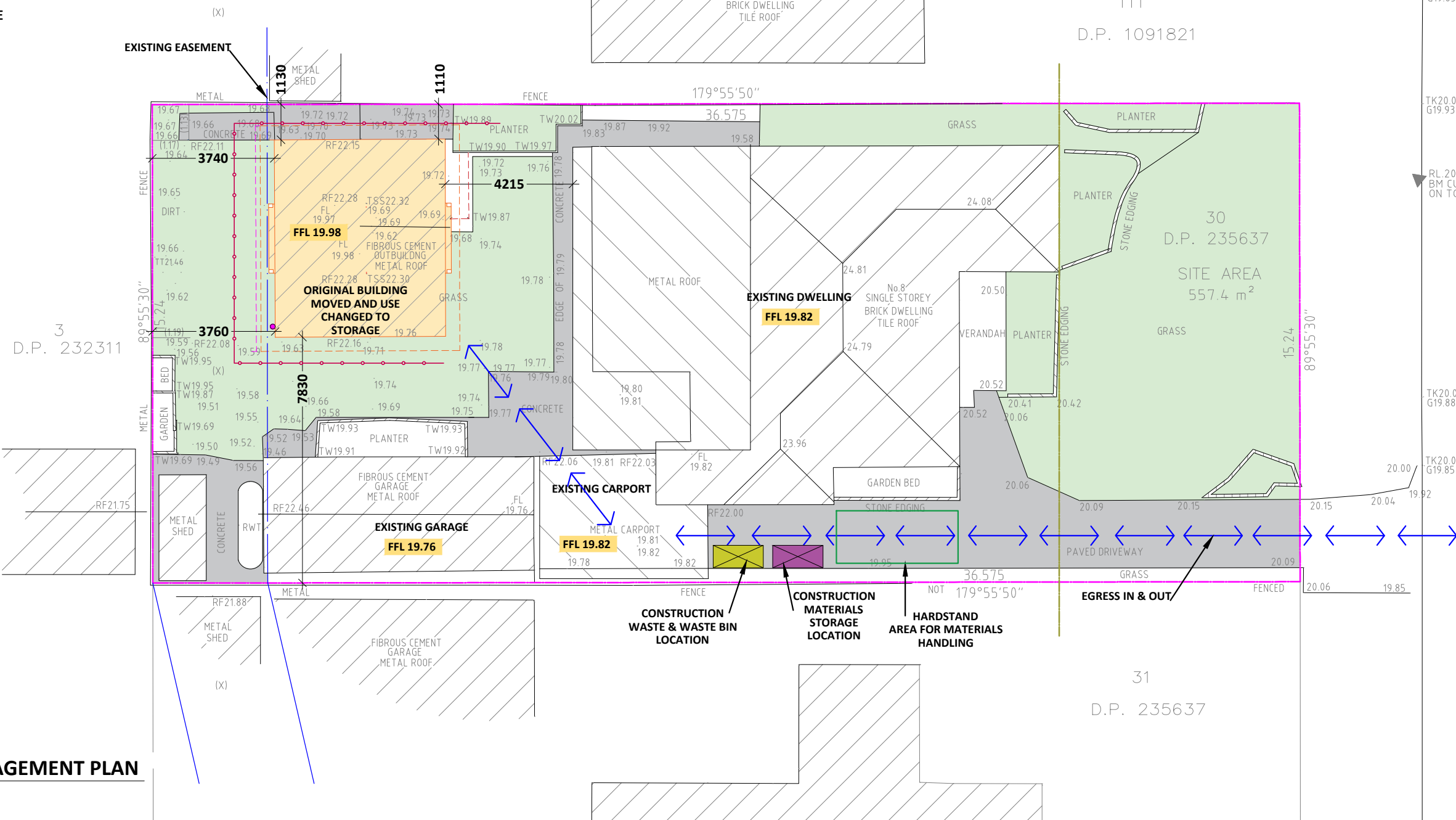
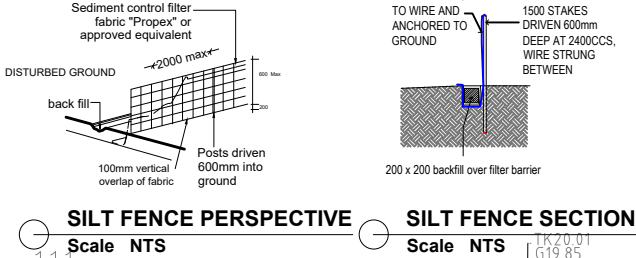


LEGEND:

- BOUNDARY LINE
- SEDIMENT CONTROL FENCE
- ORIGINAL BUILDING  
MOVED AND USE  
CHANGED TO STORAGE
- EXISTING BUILDINGS
- PROPOSED GUTTER LINE
- PROPOSED DOWNPIPE
- EXISTING DRIVEWAY
- EXISTING EASEMENT
- PROPOSED ROOF
- EGRESS IN & OUT
- CONSTRUCTION WASTE  
& WASTE BIN  
LOCATION
- CONSTRUCTION  
MATERIALS  
STORAGE  
LOCATION
- HARDSTAND  
AREA FOR MATERIALS  
HANDLING

LANDSCAPE AREAS MORE  
THAN 1.5M WIDE

ALL PROPOSED STRUCTURES TO BE AS PER  
ENGINEERING SPECIFICATIONS



CONSTRUCTION MANAGEMENT PLAN  
SCALE 1:150

LEGEND:

- FLL - FINISHED FLOOR LEVEL  
FCL - FINISHED CEILING LEVEL  
BCL - BOTTOM CEILING LEVEL  
FRL - FINISHED RIDGE LEVEL  
GL - FINISHED GUTTER LEVEL  
FBL - FLOOR BOTTOM LEVEL  
TCL - TOP CEILING LEVEL  
FGL - FINISHED GROUND LEVEL  
EGL - EXISTING GROUND LEVEL  
F - FILTER  
FPL - FINISHED POOL COPING LEVEL  
NCC - NATIONAL CONSTRUCTION CODE
- TW - TOP OF WALL LEVEL  
BW - BOTTOM OF WALL LEVEL  
ZOI - ZONE OF INFLUENCE  
BLD - EXTERNAL BUILDING LEVEL  
DK - FINISHED DECK LEVEL  
PAV - FINISHED PAVING LEVEL  
TIL - FINISHED TILE LEVEL  
TW - TOP OF WALL LEVEL

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DRAWING ORIGINAL SIZE A3

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Client: WALTERS

Site: LOT 2 DP 805532  
8 Chauvel Avenue,  
Milperra, NSW- 2214

Drawing Title: CONSTRUCTION MANAGEMENT PLAN

Scale: AS NOTED  
Date: 07.05.2024  
Checked: A.J.  
Authorised:

Designers / Architects / Drafters:



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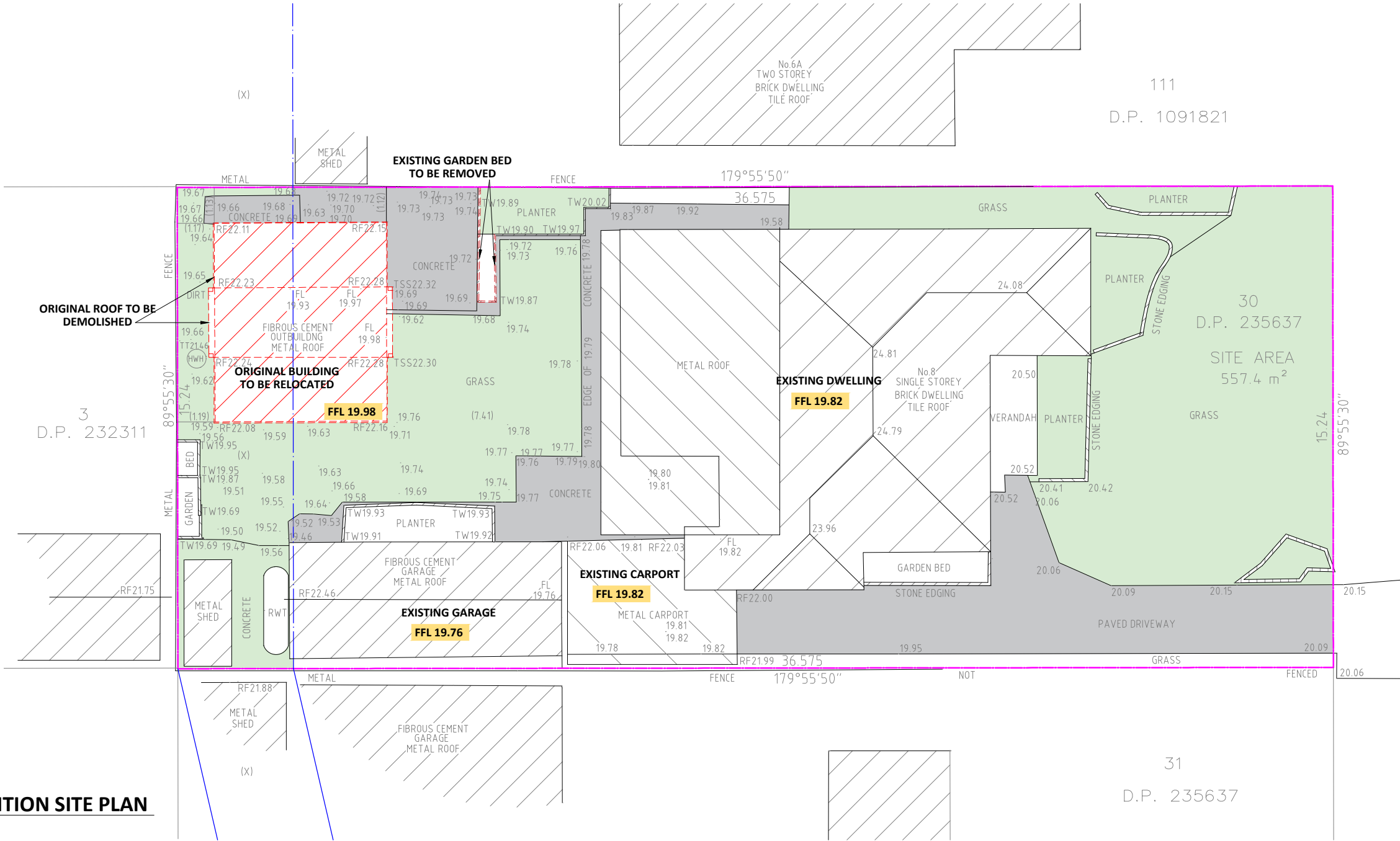
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02A / 06



LEGEND:

- BOUNDARY LINE
- SEDIMENT CONTROL FENCE
- ORIGINAL BUILDING TO BE RELOCATED
- EXISTING BUILDINGS
- EXISTING DRIVEWAY
- EXISTING EASEMENT
- EXISTING ROOF TO BE DEMOLISHED



ORIGINAL / DEMOLITION SITE PLAN  
SCALE 1:150

LEGEND:

- FFL - FINISHED FLOOR LEVEL

FCL - FINISHED CEILING LEVEL

FRL - FINISHED RIDGE LEVEL

FBL - FINISHED BUTTRESS LEVEL

TCL - TOP CEILING LEVEL

FGL - FINISHED GROUND LEVEL

EGL - EXISTING GROUND LEVEL

F - FILTER

FPL - FINISHED POOL COPING LEVEL

NCC - NATIONAL CONSTRUCTION CODE
- TW - TOP OF WALL LEVEL

BWL - BOTTOM OF WALL LEVEL

ZOI - ZONE OF INFLUENCE

BLD - EXTERNAL BUILDING LEVEL

DK - FINISHED DECK LEVEL

PAV - FINISHED PAVING LEVEL

TIL - FINISHED TILE LEVEL

TW - TOP OF WALL LEVEL
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Project Name: PROPOSED STORAGE SHED & BATHROOM

Client: WALTERS

Site: LOT 2 DP 805532  
8 Chauvel Avenue,  
Milperra, NSW- 2214

Drawing Title: ORIGINAL / DEMOLITION SITE PLAN

Scale: AS NOTED  
Date: 07.05.2024  
Checked: A.J.  
Authorised:

Designers / Architects / Drafters:



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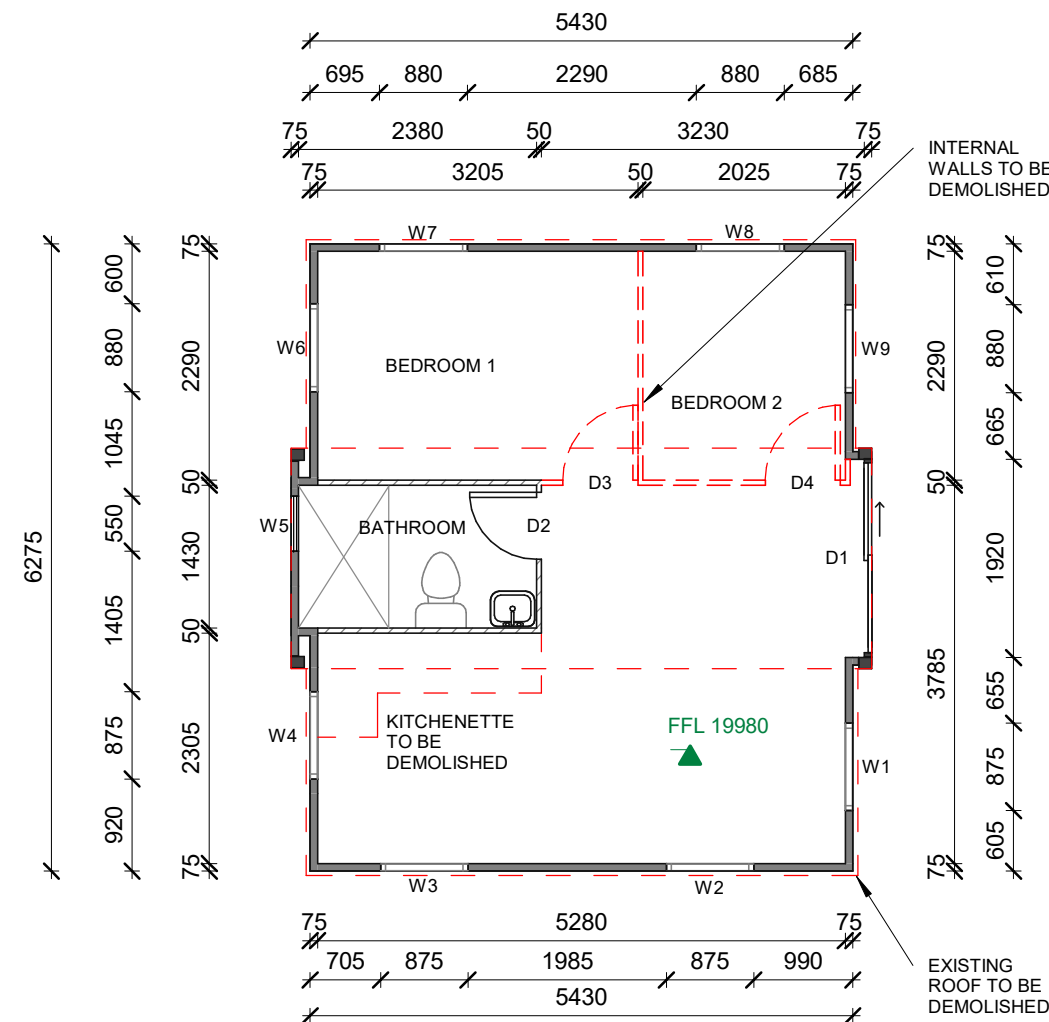
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02B / 06



LEGEND

- EXISTING EXTERNAL WALLS  
75mm THICKNESS
- EXISTING WINDOWS, DOORS &  
FIXTURES
- EXISTING INTERNAL WALLS  
50mm THICKNESS
- EXISTING DOORS, INTERNAL  
WALLS & ROOF TO BE  
DEMOLISHED



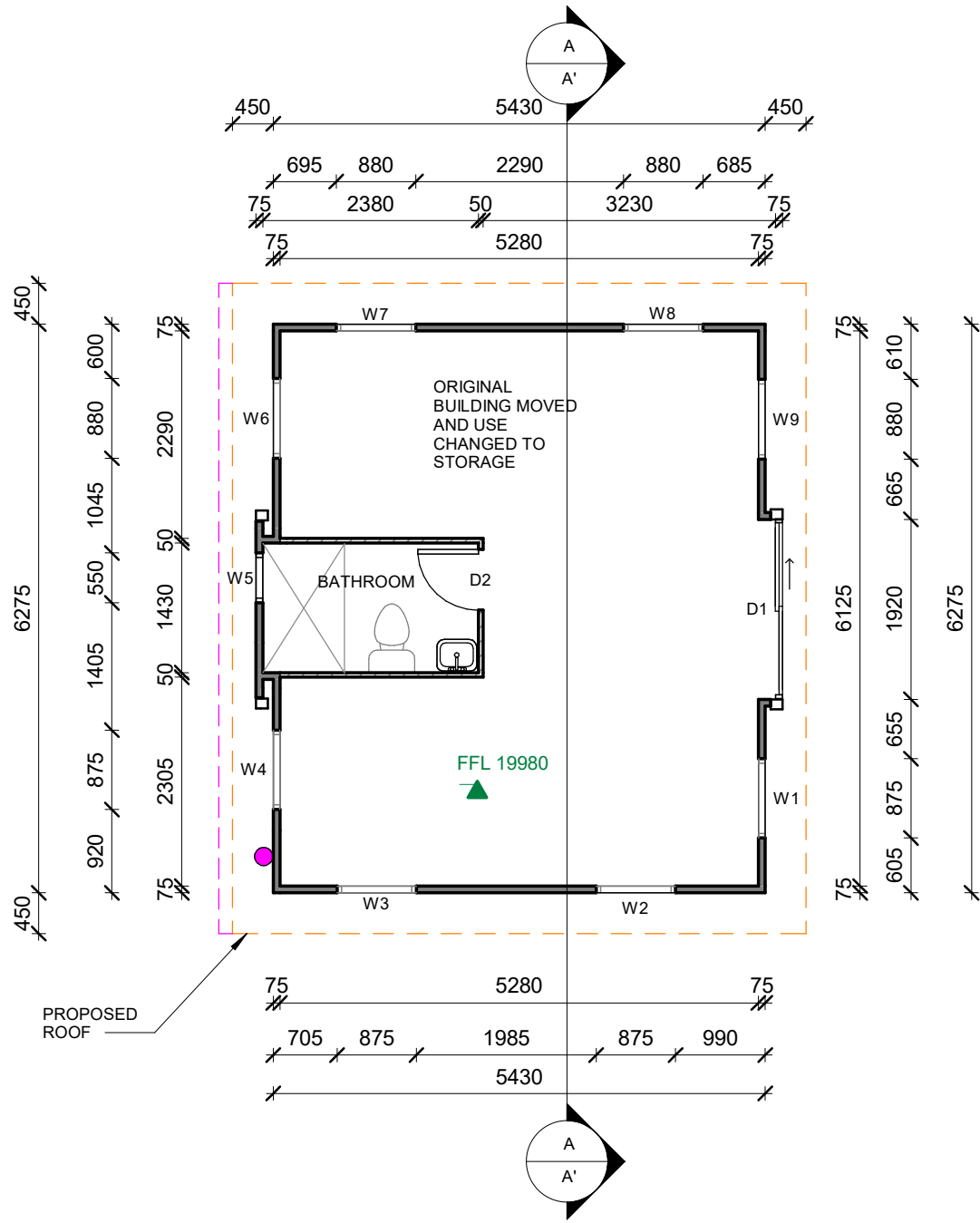
1 ORIGINAL GROUND FLOOR PLAN  
1 : 75

<div>LEGEND:</div> <div>TW - TOP OF WALL LEVEL BW - BOTTOM OF WALL LEVEL ZOI - ZONE OF INFLUENCE BLD - EXTERNAL BUILDING LEVEL DK - FINISHED DECK LEVEL PAV - FINISHED PAVING LEVEL TIL - FINISHED TILE LEVEL</div>		<div>FFL - FINISHED FLOOR LEVEL FCL - FINISHED CEILING LEVEL BCL - BOTTOM CEILING LEVEL FRL - FINISHED RIDGE LEVEL GL - FINISHED GUTTER LEVEL FBL - FLOOR BOTTOM LEVEL TCL - TOP CEILING LEVEL FGL - FINISHED GROUND LEVEL EGL - EXISTING GROUND LEVEL F - FILTER FPL - FINISHED POOL COPING LEVEL NCC - NATIONAL CONSTRUCTION CODE</div>		<div>DISCLAIMER</div> <div><ul style="list-style-type: none"><li>• All work to be carried out with the Building Code of Australia. All Local and State Ordinances relevant to Australian Standards, local electricity, Water Regulations and all other relevant Authorities concerned.</li><li>• All structural and drainage to be subject to Engineer's details or certification where required by the PCA. This shall include R.C. Slabs &amp; footings &amp; steel beams and columns, wind bracing to AS 1170 &amp; AS 4055 anchor rods or bolts, tie downs, fixings, etc. driveway slabs &amp; drainage to the PCA's satisfaction.</li><li>• All work to be carried out in a professional &amp; workmanship manner according to the plans &amp; specification.</li><li>• Do not scale off the drawings unless otherwise stated and use figured dimensions in preference.</li><li>• All dimensions &amp; levels are subject to final survey and set out, all dimensions are to be checked &amp; verified on site before the commencement of work.</li><li>• The Design Scheme (drawings documents information) contained within this set have been prepared by Drafting Solutions purely for the purpose of providing information about potential design schemes. The information should not be considered to be error free or to include all relevant data.</li><li>• Nothing in this report in any way comprises advice or a representation by Drafting Solutions nor does the employees, agents or contractors, will not be liable for any direct or indirect loss/damage you may suffer or incur arising directly or indirectly from the use of any materials or information from the report. Drafting Solutions retains copyright and all present and future moral rights in all intellectual property in all the materials authored by it and in any works executed from these drawings and documents.</li></ul></div>		<div>Project:</div> <div>PROPOSED STORAGE SHED &amp; BATHROOM</div>		<div>Designers/Architect/Drafters:</div> <div><div><div><div></div></div><div>Building Drafting Solutions</div></div><div>P.O. Box 667, Round Corner, Nsw 2158  info@buildingdraftingsolutions.com.au</div></div>			
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<div>Drawing Title:</div> <div>ORIGINAL/ DEMOLITION FLOOR PLAN</div>											
<div>Scale</div> <div>1 : 75</div>		<div>Date:</div> <div>07-05-2024</div>		<div>Checked by</div> <div>A.J</div>		<div>Authorised</div> <div></div>					
<div>FOR APPROVAL USE ONLY</div> <div>DRAWING ORIGINAL SIZE A3</div>											



LEGEND

EXISTING EXTERNAL WALLS 75mm THICKNESS	<div></div>
EXISTING WINDOWS, DOORS & FIXTURES	<div></div>
EXISTING INTERNAL WALLS 50mm THICKNESS	<div></div>
PROPOSED ROOF	<div></div>
PROPOSED GUTTER	<div></div>
PROPOSED DOWNPIPE	<div></div>



1 PROPOSED GROUND FLOOR PLAN  
1 : 75

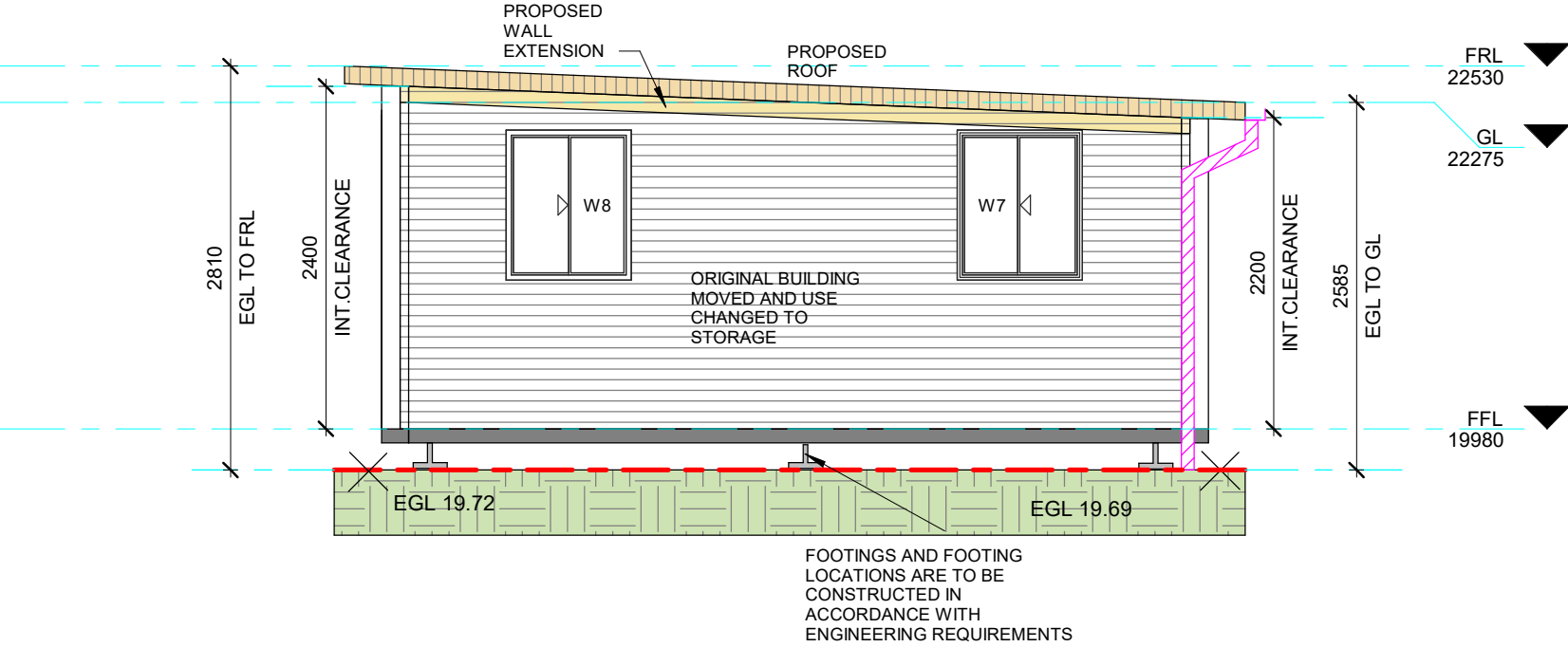
<div>LEGEND:</div> <div><div>TW - TOP OF WALL LEVEL BW - BOTTOM OF WALL LEVEL ZOI - ZONE OF INFLUENCE BLD - EXTERNAL BUILDING LEVEL DK - FINISHED DECK LEVEL PAV - FINISHED PAVING LEVEL TIL - FINISHED TILE LEVEL</div><div><div>FFL - FINISHED FLOOR LEVEL FCL - FINISHED CEILING LEVEL BCL - BOTTOM CEILING LEVEL FRL - FINISHED RIDGE LEVEL GL - FINISHED GUTTER LEVEL FBL - FLOOR BOTTOM LEVEL TCL - TOP CEILING LEVEL FGL - FINISHED GROUND LEVEL EGL - EXISTING GROUND LEVEL F - FILTER FPL - FINISHED POOL COPING LEVEL NCC - NATIONAL CONSTRUCTION CODE</div></div></div>	<div>DISCLAIMER</div> <div><div><div>• All work to be carried out with the Building Code of Australia. All Local and State Ordinances relevant to Australian Standards, local electricity, Water Regulations and all other relevant Authorities concerned.</div><div>• All structural and drainage to be subject to Engineer's details or certification where required by the PCA. This shall include R.C. Slabs &amp; footings &amp; steel beams and columns, wind bracing to AS 1170 &amp; AS 4055 anchor rods or bolts, tie downs, fixings, etc. driveway slabs &amp; drainage to the PCA's satisfaction.</div><div>• All work to be carried out in a professional &amp; workmanship manner according to the plans &amp; specification.</div><div>• Do not scale off the drawings unless otherwise stated and use figured dimensions in preference.</div><div>• All dimensions &amp; levels are subject to final survey and set out, all dimensions are to be checked &amp; verified on site before the commencement of work.</div><div>• The Design Scheme (drawings documents information) contained within this set have been prepared by Drafting Solutions purely for the purpose of providing information about potential design schemes.</div><div>The information should not be considered to be error free or to include all relevant data.</div><div>• Nothing in this report in any way comprises advice or a representation by Drafting Solutions nor does the transmissions or sending of these materials create any contractual obligations. Draftings Solutions, its employees, agents or contractors, will not be liable for any direct or indirect loss/damage you may suffer or incur arising directly or indirectly from the use of any materials or information from the report. Drafting Solutions retains copyright and all present and future moral rights in all intellectual property in all the materials authored by it and in any works executed from these drawings and documents.</div></div></div>	<div>Project:</div> <div>PROPOSED STORAGE SHED &amp; BATHROOM</div>	<div>Designers/Architect/Drafters:</div> <div><div><div><div></div><div>Building Drafting Solutions</div></div><div><div>Building Drafting Solutions</div><div>P.O. Box 667, Round Corner, Nsw 2158</div><div>info@buildingdraftingsolutions.com.au</div></div></div></div>			
		<div>Client:</div> <div>WALTERS</div>				
		<div>Site:</div> <div>LOT 2 DP 805532 8 Chauvel Avenue, Milperra, NSW- 2214</div>				
		<div>Drawing Title:PROPOSED FLOOR PLAN</div>				
		<div>Scale</div> <div>1 : 75</div>		<div>Date:</div> <div>07-05-2024</div>	<div>Checked by</div> <div>AJ</div>	<div>Authorised</div>
<div>FOR APPROVAL USE ONLY</div> <div>DRAWING ORIGINAL SIZE A3</div>		<div>North Point:</div> <div><div></div></div>	<div>Job Reference:</div> <div>WALTERS</div>	<div>Sheet No:</div> <div>4</div>		



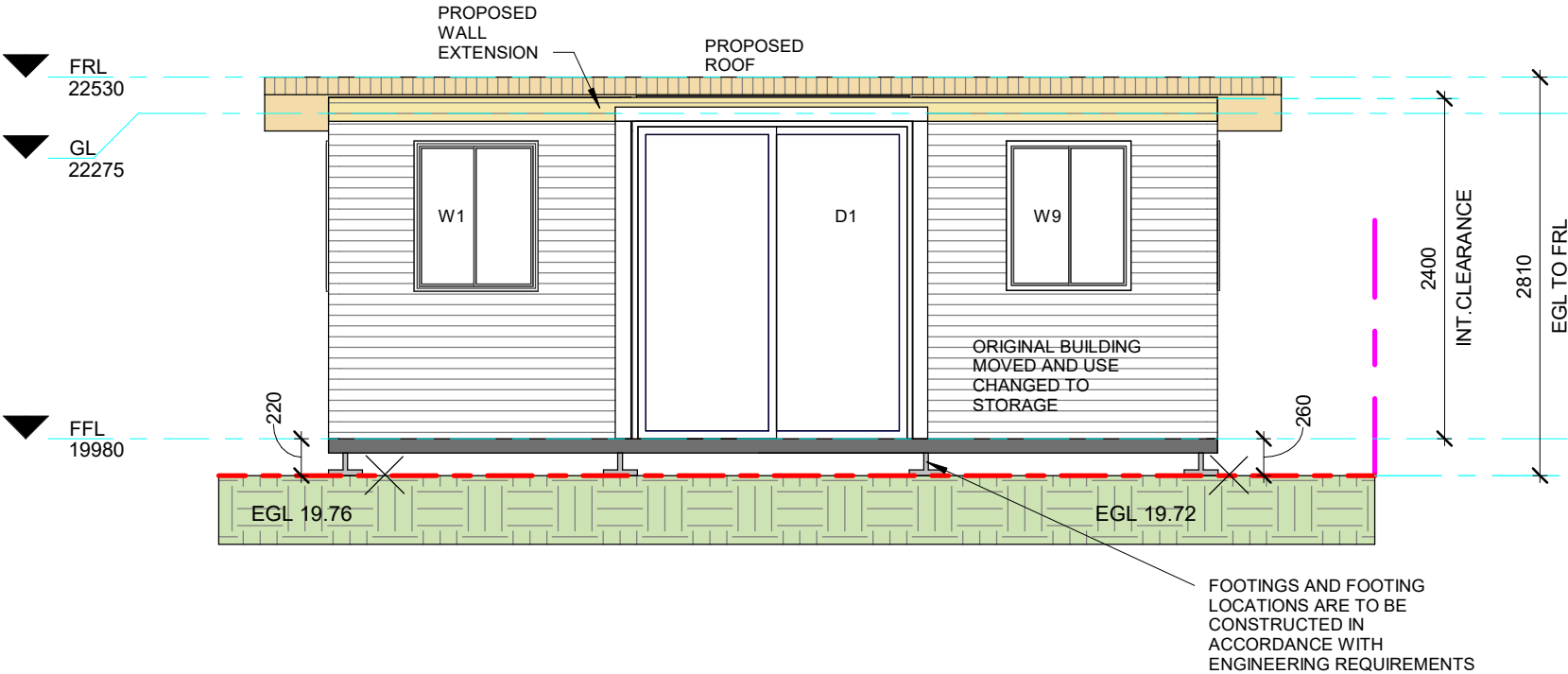
LEGEND

EXISTING WINDOWS, DOORS	
ORIGINAL BUILDING MOVED AND USE CHANGED TO STORAGE	
PROPOSED ROOF	
PROPOSED GUTTER	
PROPOSED DOWNPIPES	
FOOTINGS AND FOOTING LOCATIONS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING REQUIREMENTS	
PROPOSED WALL EXTENSION	

1 WEST ELEVATION  
1 : 50



2 NORTH ELEVATION  
1 : 50



LEGEND:

TW - TOP OF WALL LEVEL  
BW - BOTTOM OF WALL LEVEL  
ZOI - ZONE OF INFLUENCE  
BLD - EXTERNAL BUILDING LEVEL  
DK - FINISHED DECK LEVEL  
PAV - FINISHED PAVING LEVEL  
TIL - FINISHED TILE LEVEL

FFL - FINISHED FLOOR LEVEL  
FCL - FINISHED CEILING LEVEL  
BCL - BOTTOM CEILING LEVEL  
FRL - FINISHED RIDGE LEVEL  
GL - FINISHED GUTTER LEVEL  
FBL - FLOOR BOTTOM LEVEL  
TCL - TOP CEILING LEVEL  
FGL - FINISHED GROUND LEVEL  
EGL - EXISTING GROUND LEVEL  
F - FILTER  
FPL - FINISHED POOL COPING LEVEL  
NCC - NATIONAL CONSTRUCTION CODE

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DRAWING ORIGINAL SIZE A3

Project: PROPOSED STORAGE SHED & BATHROOM

Client: WALTERS

Site: LOT 2 DP 805532  
8 Chauvel Avenue, Milperra, NSW- 2214

Drawing Title: ELEVATIONS

Scale 1 : 50

Date: 07-05-2024

Checked by  
SA

Authorised

Designers/Architect/Drafters:



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Round Corner, Nsw 2158

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North Point:

Job Reference:

WALTERS

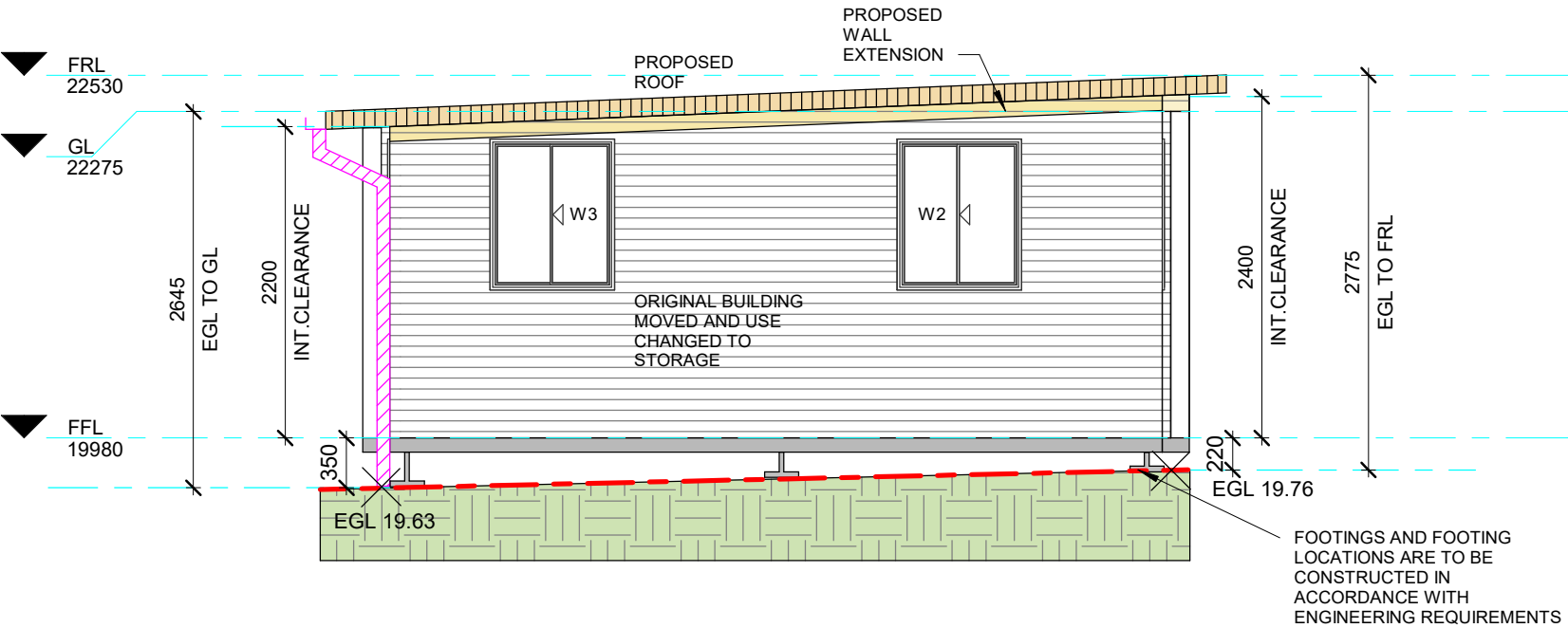
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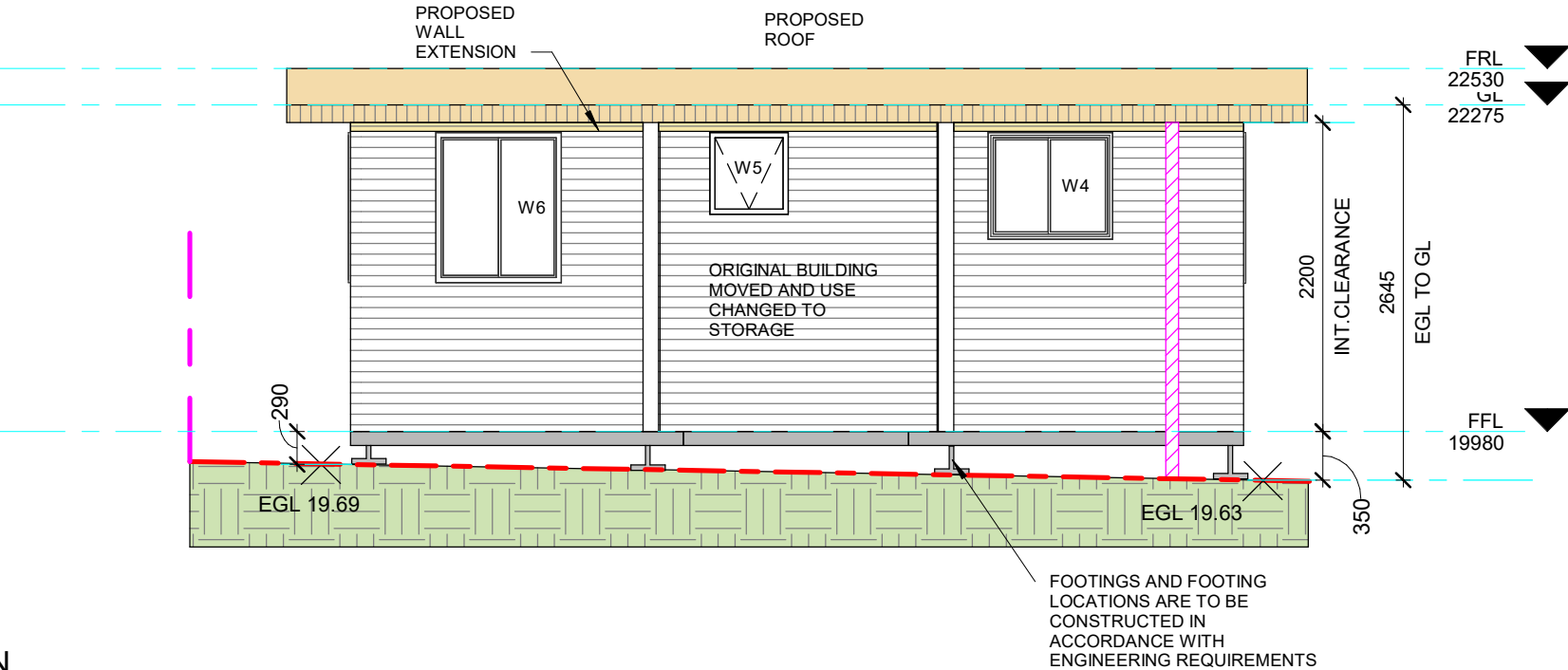


LEGEND

- EXISTING WINDOWS, DOORS
- ORIGINAL BUILDING MOVED AND USE CHANGED TO STORAGE
- PROPOSED ROOF
- PROPOSED GUTTER
- PROPOSED DOWNPIPES
- FOOTINGS AND FOOTING LOCATIONS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING REQUIREMENTS
- PROPOSED WALL EXTENSION



1 EAST ELEVATION  
1 : 50



2 SOUTH ELEVATION  
1 : 50

LEGEND:

TW - TOP OF WALL LEVEL  
BW - BOTTOM OF WALL LEVEL  
ZOI - ZONE OF INFLUENCE  
BLD - EXTERNAL BUILDING LEVEL  
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DRAWING ORIGINAL SIZE A3

Project: PROPOSED STORAGE SHED & BATHROOM

Client: WALTERS

Site: LOT 2 DP 805532  
8 Chauvel Avenue, Milperra, NSW- 2214

Drawing Title: ELEVATIONS

Scale 1 : 50

Date: 07-05-2024

Checked by  
S.A

Authorised

Designers/Architect/Drafters:



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Round Corner, Nsw 2158

info@buildingdraftingsolutions.com.au

North Point:

Job Reference:

WALTERS

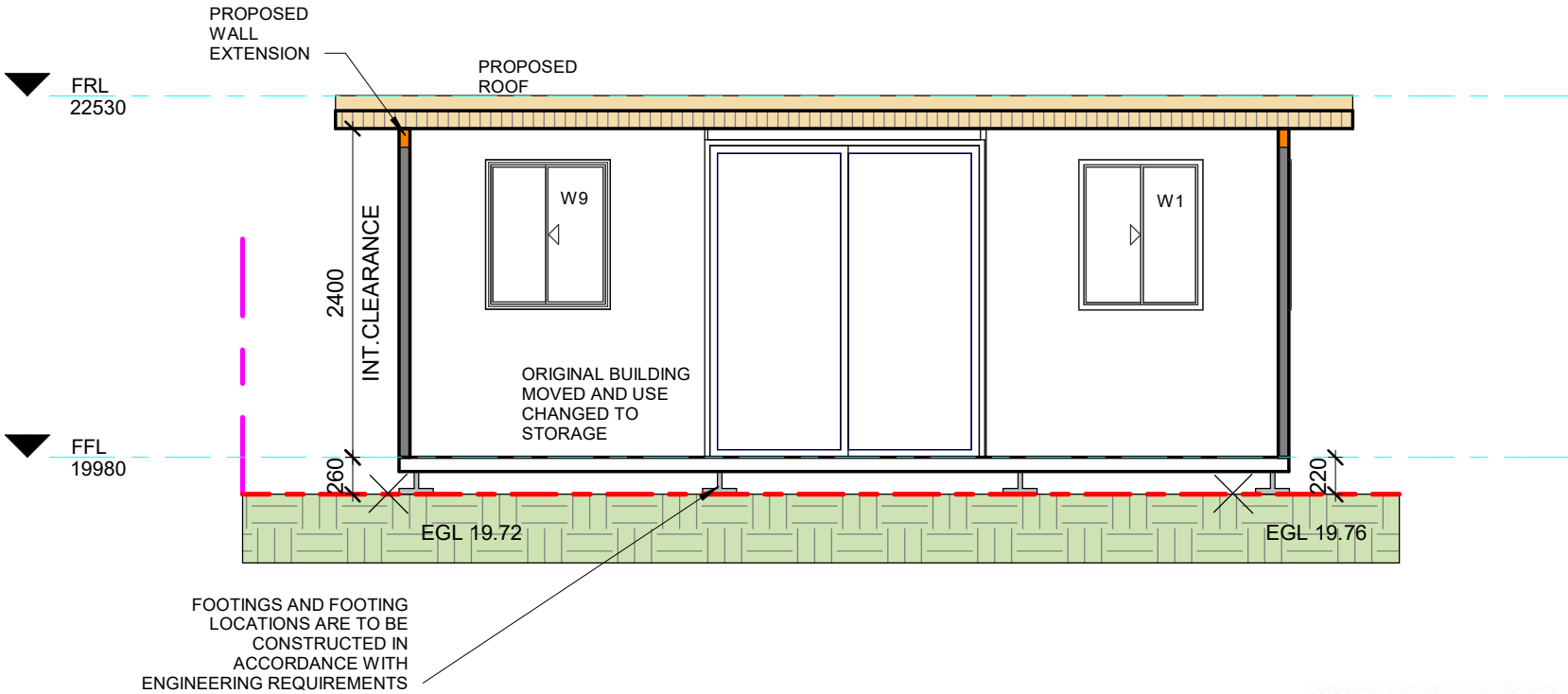
Sheet No:

6



LEGEND

- EXISTING WINDOWS, DOORS
- ORIGINAL BUILDING MOVED AND USE CHANGED TO STORAGE
- PROPOSED ROOF
- PROPOSED GUTTER
- PROPOSED DOWNPIPES
- FOOTINGS AND FOOTING LOCATIONS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING REQUIREMENTS
- PROPOSED WALL EXTENSION



1 SECTION AA'  
1 : 50

SCHEDULE OF EXTERNAL FINISHES

FINISHED	COLOUR	PROFILE / SAMPLE
<b>External Walls:</b>		
COLOURBOND STEEL	SURFMIST	
<b>Downpipes:</b>		
COLORBOND STEEL	DOVER WHITE	
<b>Gutters &amp; Fascia:</b>		
COLORBOND STEEL	BASALT	
<b>Windows:</b>		
COLOURBOND ALUMINIUM	DOVER WHITE	
<b>Roof Coverings:</b>		
COLOURBOND STEEL	BASALT	

LEGEND:

TW - TOP OF WALL LEVEL  
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ZOI - ZONE OF INFLUENCE  
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Project: PROPOSED STORAGE SHED & BATHROOM

Client: WALTERS

Site: LOT 2 DP 805532  
8 Chauvel Avenue, Milperra, NSW- 2214

Drawing Title: SECTION & SCHEDULE OF FINISHES

Scale 1 : 50    Date: 07-05-2024    Checked by S.A    Authorised

Designers/Architect/Drafters:

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Job Reference:  
  
WALTERS

Sheet No:  
  
7

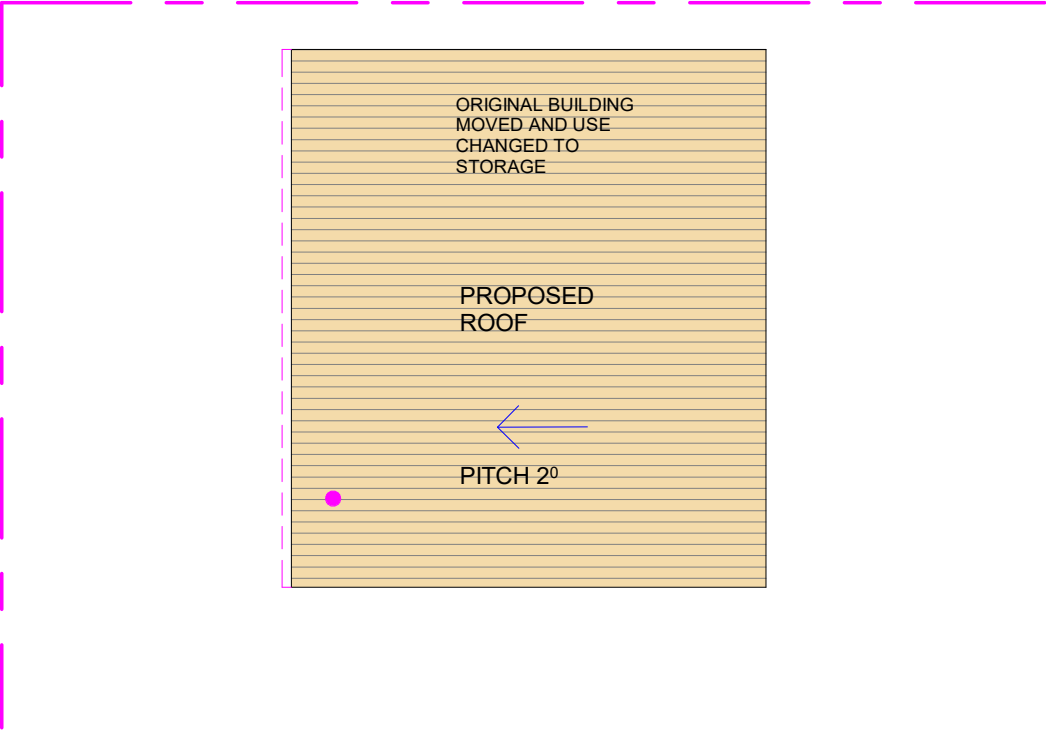
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DRAWING ORIGINAL SIZE A3



LEGEND

- BOUNDARY LINE
- PROPOSED ROOF
- PROPOSED GUTTER
- PROPOSED DOWNPIPE



1 PROPOSED ROOF PLAN  
1 : 100

LEGEND:  TW - TOP OF WALL LEVEL BW - BOTTOM OF WALL LEVEL ZOI - ZONE OF INFLUENCE BLD - EXTERNAL BUILDING LEVEL DK - FINISHED DECK LEVEL PAV - FINISHED PAVING LEVEL TIL - FINISHED TILE LEVEL	FFL - FINISHED FLOOR LEVEL FCL - FINISHED CEILING LEVEL BCL - BOTTOM CEILING LEVEL FRL - FINISHED RIDGE LEVEL GL - FINISHED GUTTER LEVEL FBL - FLOOR BOTTOM LEVEL TCL - TOP CEILING LEVEL FGL - FINISHED GROUND LEVEL EGL - EXISTING GROUND LEVEL F - FILTER FPL - FINISHED POOL COPING LEVEL NCC - NATIONAL CONSTRUCTION CODE	DISCLAIMER • All work to be carried out with the Building Code of Australia. All Local and State Ordinances relevant to Australian Standards, local eletricity, Water Regulations and all other relevant Authorities concerned. • All structural and drainage to be subject to Engineer's details or certification where required by the PCA. This shall include R.C. Slabs & footings & steel beams and columns, wind bracng to AS 1170 & AS 4055 anchor rods or bolts, tie downs, fixings, etc. driveway slabs & drainage to the PCA's satisfaction. • All work to be carried out in a professional & workmanship manner according to the plans & specification. • Do not scale off the drawings unless otherwise stated and use figured dimensions in preference. • All dimensions & levels are subject to final survey and set out, all dimensions are to be checked & verified on site before the commencement of work. • The Design Scheme (drawings documents information) contained within this set have been prepared by Drafting Solutions purely for the purpose of providing information about potential design schemes. The information should not be considered to be error free or to include all relevant data. • Nothing in this report in any way comprises advice or a representation by Drafting Solutions nor does the transmissions or sending of these materials create any contractual obligations. Draftings Solutions, its employees, agents or contractors, will not be liable for any direct or indirect loss/damage you may suffer or incur arising directly or indirectly from the use of any materials or information from the report. Drafting Solutions retains copyright and all present and future moral rights in all intellectual property in all the materials authored by it and in any works executed from these drawings and documents.	Project: PROPOSED STORAGE SHED & BATHROOM		Designers/Architect/Drafters:		<div><div><div></div></div><div>Building Drafting Solutions P.O. Box 667, Round Corner, Nsw 2158 info@buildingdraftingsolutions.com.au</div></div>	<div><div><div></div></div><div>WALTERS</div></div>	
			Client: WALTERS						
			Site: LOT 2 DP 805532 8 Chauvel Avenue, Milperra, NSW- 2214						
			Drawing Title: ROOF PLAN						
FOR APPROVAL USE ONLY DRAWING ORIGINAL SIZE A3			Scale 1 : 100	Date: 07-05-2024	Checked by A.J	Authorised	North Point: <div><div></div></div>	Job Reference:  WALTERS	Sheet No:  8



PROPOSED WINDOW SCHEDULE						
Mark	Comments	Family	Width	Height	Sill Height	Location
W1	EXISTING	Sliding - 2L (AUS)	875	1060	1040	STORAGE
W2	EXISTING	Sliding - 2L (AUS)	875	1060	1040	STORAGE
W3	EXISTING	Sliding - 2L (AUS)	875	1060	1040	STORAGE
W4	EXISTING	Sliding - 2L (AUS)	875	750	1350	STORAGE
W5	EXISTING	Awning - 1LT (AUS)	550	575	1525	BATHROOM
W6	EXISTING	Sliding - 2L (AUS)	880	1055	1045	STORAGE
W7	EXISTING	Sliding - 2L (AUS)	880	1055	1045	STORAGE
W8	EXISTING	Sliding - 2L (AUS)	880	1055	1045	STORAGE
W9	EXISTING	Sliding - 2L (AUS)	880	1055	1045	STORAGE

PROPOSED DOOR SCHEDULE					
Mark	Comments	Family	Height	Width	Location
D1	EXISTING	Sliding Door - 2 Panel (AUS)	2200	1900	STORAGE
D2	EXISTING	M_Single-Flush	2100	670	BATHROOM

Grand total: 2

<div>LEGEND:</div> <div>TW - TOP OF WALL LEVEL BW - BOTTOM OF WALL LEVEL ZOI - ZONE OF INFLUENCE BLD - EXTERNAL BUILDING LEVEL DK - FINISHED DECK LEVEL PAV - FINISHED PAVING LEVEL TIL - FINISHED TILE LEVEL</div>	<div>FFL - FINISHED FLOOR LEVEL FCL - FINISHED CEILING LEVEL BCL - BOTTOM CEILING LEVEL FRL - FINISHED RIDGE LEVEL GL - FINISHED GUTTER LEVEL FBL - FLOOR BOTTOM LEVEL TCL - TOP CEILING LEVEL FGL - FINISHED GROUND LEVEL EGL - EXISTING GROUND LEVEL F - FILTER FPL - FINISHED POOL COPING LEVEL NCC - NATIONAL CONSTRUCTION CODE</div>	DISCLAIMER				<div>Designers/Architect/Drafters:</div> <div><div><div><div></div></div><div>Building Drafting Solutions</div></div><div>P.O. Box 667, Round Corner, Nsw 2158</div><div>info@buildingdraftingsolutions.com.au</div></div>					
		Project: PROPOSED STORAGE SHED & BATHROOM									
		Client: WALTERS									
		Site: LOT 2 DP 805532 8 Chauvel Avenue, Milperra, NSW- 2214									
Drawing Title: DOOR & WINDOW SCHEDULE											
FOR APPROVAL USE ONLY DRAWING ORIGINAL SIZE A3		The information should not be considered to be error free or to include all relevant data.				North Point:		Job Reference:		Sheet No:	
		The information should not be considered to be error free or to include all relevant data.						WALTERS		9	